



Eagle Point Golf Community HOA

March Informational Bulletin

Dear Residents of Eagle Point Golf Community Association:

In this month's informational bulletin, you will find information on:

- Ukraine
- Quarterly Dues
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- Board Positions Approved & Committees Formed
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Ukraine

It has been almost a month since Russia invaded Ukraine on February 24. The USA and many other countries have banded together to impose sanctions in an effort to dissuade Russia from further invasion efforts. NPR has published an article with a variety of organizations that are helping with relief efforts for Ukraine spanning from helping refugees, specifically helping children, sending medical care packages, or assisting with getting doctors on the ground (such as with Doctors without Borders).

In case any in the community are wanting to help, but don't know how, please follow the link below to read more about the different organizations helping Ukraine right now:

<https://www.npr.org/2022/02/25/1082992947/ukraine-support-help>

Also, Lutheran World Relief has been recommended as a source for helping Ukraine, as they donate 92 cents per dollar of donations received towards humanitarian aid. Thank you all in the community for your support so far!



Quarterly Dues

Dues for the HOA are \$88 per quarter and are charged on the 1st day of every quarter (January, April, July, October). For those who have already set up auto-pay on the online portal, AppFolio, if you had the payment set to \$78 per quarter, you may need to update your autopay to \$88.

Please note, to pay dues online with the convenience of e-check, debit, or credit card, you need to have an email and activate your online portal. If you haven't done this, but would like to sign up, please email tnugent@fieldstonmanagement.com to add your email to your homeowner account and walk through activating the account and setting up a payment.

For those who would prefer to pay the year in full, you can do this by check or by a one-time payment on the online portal. Paying the full year in advance can help ensure no late fees are incurred.

Mask Update

The mask mandate was lifted on March 12 for most indoor settings, as hospitalizations lessen. Masks will still be required in health care settings and are currently still required on public transit federally.

Board Positions Approved & Committees Formed

Cynthia Sottana and Julie Moran have been appointed to the Board of Directors as Treasurer and Director at Large respectively. The Board voted to form the following committees:

CC&R Simplification Committee: formed to edit the CC&Rs to be written in layman's terms and simplify down into 1 document (there are currently 15 CC&Rs). (The Modification Committee has been working on the Design Guidelines, which are a separate document from the CC&Rs – their work is simplifying the 4 Architectural Review Committee Declaration of Residential Guidelines and Contractor Standards into 1 document).

Hearings/Compliance Committee: formed to assist with compliance issues in the community and to handle hearings if hearings are requested by homeowners due to fines.

Landscape & Maintenance Committee: formed to assist Debby Endicott with Landscape Director duties. People on this committee will learn more details about the vendors we contract with to keep the community looking beautiful and to make improvements and repairs on the reserve study schedule.

Special Events Committee: formed to assist Patty Jensen (Communications Director) and the community manager with community events like the Meet & Greets, Garage Sales, and Annual Meeting.

If anyone in the community is interested in joining any of the above committees, please reach out to Taryn Nugent at tnugent@fieldstonemanagement.com for more information.

Modification Committee Openings

The Modification Committee has openings to fill for anyone in the community who is interested in volunteering. The Committee meets once a week (or every other week depending on the number of modification requests submitted) from 10 am to 11 am on Tuesdays. This committee is responsible for reviewing the HOA's modification request forms, which cover all exterior modifications. The Modification Committee's decisions are impartial and based solely on the CC&Rs, Design Guidelines, Resolutions, and Community-Wide Standards.

Anyone interested in joining the committee can express their interest by email or phone at tnugent@fieldstonemanagement.com or 541-385-7799, extension 709.

Security Cameras

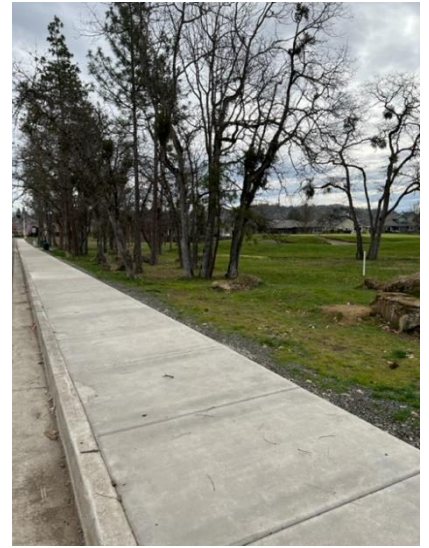
As mentioned in the January Informational Bulletin, Security Cameras are an exterior change and must go through the Modification Committee first to avoid the \$150 fine for "unapproved modifications" (see [Schedule of Fines](#)). The Board is willing to waive this fine as long as Modification Request Forms are submitted for retroactive approval of the security cameras prior to April 22, 2022.

Security cameras that are placed on the inside of your home are not within the jurisdiction of the Modification Committee, but any exterior change is per Section 11 of the CC&Rs.

Concrete and Sidewalk Work Complete

Concrete work started in February for a concrete safety repair near the Pine Lakes mailbox. Concrete work is done, and you can see the finished product to the left.

The sidewalk on Arrowhead at the Golf Course entry has also been completed. See the finished work on the right.



Appointment-Only Office Hours

The EPGCHA Office in Eagle Point (near Crackin & Stackin) has changed to appointment-only availability as of March 1. You can make an appointment by emailing Taryn at tnugent@fieldstonemanagement.com or by calling 541-385-7799, extension 709. Office hours are still between 9:00 am and 5:00 pm Monday through Friday, but no walk-ins will be accepted.

Nemesis Pest Control – DISCOUNT

Nemesis Pest Control of Jacksonville would like to offer all homeowners in the Eagle Point Golf Community a 10% discount on all pest services. You can reach them at 541-512-7007 or by email at info@pestnemesis.com. They offer a free inspection to see what services you may need – from ants, wasps, and spiders, to rats, bats, and voles.

Fire Safety Tips

Jackson County has created a fantastic [Fire Safety Inspection Checklist](#) which helps you to self-inspect your home to prepare for fire season. Important steps to take to prepare for the warm, dry weather coming include:

- Remove any and all dead plants or trees (modification request form required).
- Trim or prune back hedges and trees to ensure no plants are touching your home or foundations.
- Incorporate a fire break into your landscape plan – a 5' border of rock instead of mulch or plants next to the home can make a big difference.
- Store wood piles far from the home.
- Consider xeriscape designs to incorporate fire-resistant plants with low water usage.
- Clean up all fallen leaves and weeds.
- Hardwood trees are less combustible than pine or conifers. (see [Fire Resistant Landscaping](#))
- Keep your gutters and roof clear (pine needles or leaves in the gutter or on the roof are a huge vulnerability during fire season)

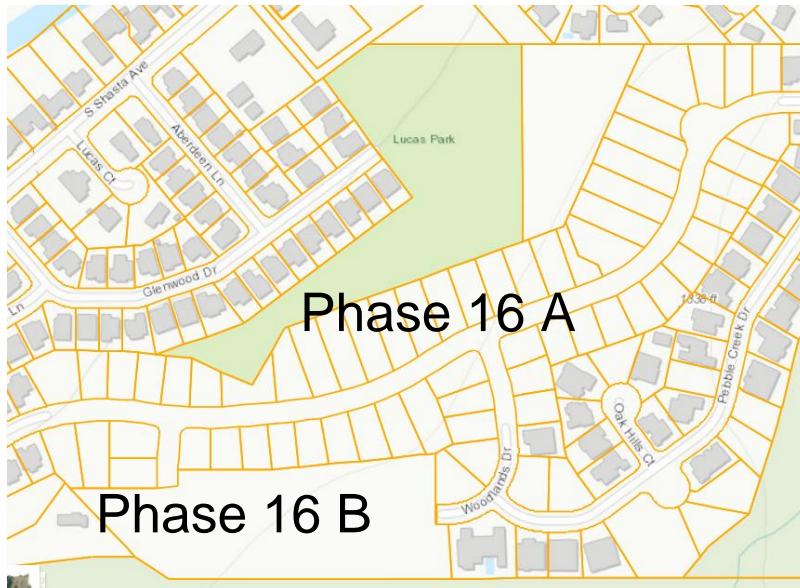
Garage Sale

The HOA-wide Garage Sales are scheduled for this year! The Spring Garage Sale will be held on April 22 & 23, while the Fall Garage sale will be held on October 21 & 22. The only rules to be aware of for the Garage Sales is to **keep your sidewalks clear and don't put up extra signs**. The HOA will be putting up large banners at strategic points in the neighborhood, as well as advertising the Garage Sales online. Keeping the sidewalks clear is necessary for the safety of pedestrians, as we will have a lot of vehicle traffic in the neighborhood during the Garage Sales.

If you can keep your items organized in your garage and on your driveway, this is the best practice to avoid theft and to avoid accidentally killing any grass or plants you may have (whether from the weight of the items, or the trampling of the plants by visiting buyers). Anything may be sold at the two Garage Sales of the year, including vehicles, large appliances, small appliances, and other household goods. Estate sales are allowed to occur at the same time, but signs, once again, may not be put out.

Sub-HOA New Phases Construction Update

The Holt Group Inc. has been utilizing Kammerzell Contracting LLC for the work on Phase 16 A that you can see in progress on Arrowhead. Phase 16 B will also be handled by Kammerzell, with a bit more emphasis on customization for those facing the golf course. You can see Phase 16 A&B below on the map (16 B plat was recorded November 19, 2021, but has not been updated yet on Jackson County's map, so it is the solid white block on the map below):



Holt Group Inc. expects Phase 16 A to be completed by the 2nd Quarter of 2023 and Phase 16 B by the 4th Quarter of 2023. Kammerzell is making steady progress on homes, starting approximately 4 homes every month.

Phases 11, 15, 17, and 18 were approved by the City of Eagle Point. The first two phases, 11 and 15, will have the engineering drawings submitted around April this

year. The engineering drawings include details such as grading, storm drains, paving, and streetlights. Once these are approved, Holt Group Inc. anticipates grading the area to prepare for roads around May or June this year and are hopeful to have utilities started by July. Phases 11, 15, 17, and 18 are similarly not platted yet, so you can see where it is on the Jackson County GIS map below where the solid white block is:



Subdivision and platting are expected to occur in early 2023, with home construction to be expected next year. Holt Homes will be designing the homes in phases 11, 15, 17, and 18, which you can expect to have more emphasis on masonry finishes, like the surrounding homes in our HOA.